



## **LOKA CONSULTING ENGINEERS PTY LTD**

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Job Number: **17NL265 A3**

Date: **25<sup>TH</sup> MARCH 2021**

# **Access Review Report for** **26 Moorfields Street, Kingsgrove, NSW**

Prepared by

**LOKA CONSULTING ENGINEERS PTY LTD**

**Nermein Loka**

BSC, ME, MIE (AUST), CPEng, NPER, RPEQ

Senior Civil Engineer

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Director

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## 1. Introduction

Loka Consulting Engineers Pty Ltd has been engaged by Morfosis Architects Pty Ltd to provide Access assess for the proposed residential development located at 26 Moorfields Street, Kingsgrove, NSW at DA stage

An Access assessment report has been based on the following drawings prepared by Morfosis Architects Pty Ltd

No	Title	Drawing No.	Revision	Date
1	Site / Roof Plan	DA 200	I	10/03/2021
2	Basement Plan	DA 200	I	10/03/2021
3	Ground Floor Plan	DA 200	I	10/03/2021
4	First Floor Plan	DA 200	I	10/03/2021

## 2. Purpose of the Report

The purpose of this report is to provide an accessibility review of the subject development to ascertain whether the development is consistent with access and adaptable housing requirements for a proposed housing development

## 3. Assessment Criteria

The assessment based on the following legislation, planning instruments and standards pertaining to access for people with disabilities:

- 1- Australian Standard AS4299 (1995) Adaptable housing class C

For those instances of "Deemed to Satisfy (DTS) non-compliance", a detailed analysis and commentary is provided. Where items are nominated as 'Compliance Achievable" it is considered that the existing plans are capable of achieving compliance subject to implementation of the requirements in the construction phase of the development.

## 4. Proposed Development

### 4.1. Development summary

- The development proposes a multi-Dwelling Housing consisting of eight (8) units, which consists of 5 four-bedroom units, 2 three-bedroom units and 1 two-bedroom unit in-fill affordable townhouses with a shared basement carpark.
- There will be a sum of 15 car parking spaces in total at basement carpark floor.
- The accessible parking space includes 2400mm minimum width spaces adjoining 2750mm width shared areas.
- The development proposes a principal site entrance from Moorfields Road to each Unit.
- With regard to Adaptable Housing, the development proposes one unit to Category C of AS4299, which represents 10% in accordance with Council's DCP.

### 4.2. Building Details

- Class 2 – the multi-unit townhouse
- Class 7a – the car parking

## 5. Australian Standard AS4299 (1995) Adaptable housing

The following assessment summarises the compliance status of the design documentation with reference to AS4299

Item		Complies	Comments/ Recommendation
<b>DRAWINGS</b>	Provision of drawings showing the housing unit in its pre-adaptation and post-adaptation stages	Yes	
<b>SITING</b>	A continuous accessible path of from street frontage and vehicle parking to entry complying with AS 1428.1	Yes Design detail required at CC stage	There is a continuous accessible path for the accessible car parking space from garage to its unit
<b>LETTERBOXES IN ESTATE DEVELOPMENTS</b>	Letter boxes to be on hard standing area connected to accessible pathway	Design detail required at CC stage	Ensure the letter boxes are on a flat hard standing surface
<b>PRIVATE CAR ACCOMMODATION</b>	Car parking space or garage min. area 6.0 m * 3.8 m	Yes	disabled parking spaces 5.4m X 2.4m with a shared zone 5.4m x 2.4m according to AS

			2890.1:2004
<b>ACCESSIBLE ENTRY</b>	Accessible entry	Design detail required at CC stage	Ensure the accessible entry to be level max 1:40  Ensure Door lever handles and hardware to AS 1428.1
	Accessible entry to be level (i.e. max. 1:40 slope)		
	Threshold to be low-level		
	Landing to enable wheelchair manoeuvrability		
	Accessible entry door to have 850 mm min. clearance		
	Door lever handles and hardware to AS 1428.1		
<b>INTERIOR: GENERAL</b>	Internal doors to have 820 mm min. clearance	Design detail required at CC stage	ensure the internal door clear width to be 850mm
	Internal corridors min. width of 1000 mm		
	Provision for compliance with AS 1428.1 for door approaches		
<b>LIVING ROOM &amp; DINING ROOM</b>	Provision for circulation space of min. 2250 mm diameter	Yes Design detail required at CC stage	Ensure telephone adjacent to GPO  Ensure potential illumination level min. 300 lux
	Telephone adjacent to GPO		
	Potential illumination level min. 300 lux		
<b>KITCHEN</b>	Minimum width 2.7 m (1550 mm clear between benches)	Design detail required at CC stage	The kitchen must have adjustable kitchen legs that allow the kitchen to be lowered providing a work surface at a height between 750-850mm.  The kitchen must have a sink with lever type taps, cooktop with raised controls, two GPO's at the kitchen bench for appliances and two GPO's for the refrigerator must be provided as per the Adaptable Dwelling Schedule of Features Notes. These features are required for pre and post adaptation
	Provision for circulation at doors to comply with AS 1428.1		
	Provision for benches planned to include at least one work surface of 800 mm length, adjustable in height from 750 mm to 850 mm or replaceable. Refer to Figure 4.8		
	Refrigerator adjacent to work surface		
	Kitchen sink adjustable to heights from 750 mm to 850 mm or replaceable		
	Kitchen sink bowl max. 150 mm deep		
	Tap set capstan or lever handles or lever mixer		
	Tap set located within 300 mm of front of sink		

	<p>Cooktops to include isolating switch side controls with raised cross bars</p> <p>Cooktops to include isolating switch</p> <p>Work surface min. 800 mm length adjacent to cooktop at same height</p> <p>Oven located adjacent to an adjustable height or replaceable work surface</p> <p>GPOs to comply with AS 1428.1. At least one double GPO within 300 mm of front of work surface</p> <p>GPO for refrigerator to be easily reachable when the refrigerator is in its operating position</p> <p>Slip-resistant floor surface</p>		
<b>MAIN BEDROOM</b>	At least one bedroom of area sufficient to accommodate queen size bed and wardrobe and circulation space requirements of AS 1428.2	Yes Design detail required at CC stage	Ensure the door width and circulation space is complying with AS1428.1
<b>BATHROOM</b>	<p>Provision for bathroom area to comply with AS 1428.1</p> <p>Slip-resistant floor surface</p> <p>Shower recess - no hob. Minimum size 1160*1100 to comply with AS 1428.1. (Refer Figures 4.6 and 4.7)</p> <p>Shower area waterproofed to AS 3740 with floor to fall to waste</p> <p>Recessed soap holder</p> <p>Shower taps positioned for easy reach to access side of shower sliding track</p> <p>Provision for adjustable, detachable hand held shower rose mounted on a slider grab rail or fixed hook (plumbing and wall - strengthening provision)</p> <p>Provision for grab rail in shower (Refer to Figure</p>	Design detail required at CC stage	<p>bathroom door clear width to be 850mm and the door circulation space is to comply with AS1428.1 at CC stage</p> <p>The shower must have strengthened walls at grab rail locations, lever type taps, double GPO near washbasin and appropriate lighting as per the Adaptable Dwelling Schedule of Features Notes. These features are required for pre and post adaptation.</p> <p>The bathroom plumbing must be in the same position as pre and post adaptation</p> <p>The shower must have a</p>

	<p>4.7) to comply with AS 1428.1</p> <p>Tap sets to be capstan or lever handles with single outlet</p> <p>Provision for washbasin with clearances to comply with AS 1428.1</p> <p>Double GPO beside mirror</p>		<p>firm, slip -resistant surface with a texture that is traversable by a wheelchair</p>
<b>TOILET</b>	<p>Provision of either 'visit able toilet' or accessible toilet</p> <p>Provision to comply with AS 1428.1</p> <p>Location of WC pan at correct distance from fixed walls</p> <p>Provision for grab rail zone. (Refer Figure 4.6)</p> <p>Slip resistant floor surface. (Vitreous tiles or similar)</p>	<p>Design detail required at CC stage</p>	<p>Ensure the provision for grab rail zone refers to Figure 4.6</p> <p>Ensure the floor surface is slip-resistant.</p> <p>The toilet plumbing must be in the same position as pre and post adaptation</p>
<b>LAUNDRY</b>	<p>Circulation at doors to comply with AS 1428.1</p> <p>Provision for adequate circulation space in front of or beside appliances (m in. 1550 mm depth)</p> <p>Provision for automatic washing machine</p> <p>Where clothes line is provided, an accessible path of travel to this</p> <p>Double GPO</p> <p>Slip-resistant floor surface</p>	<p>Yes Design detail required at CC stage</p>	<p>Laundry must have a double GPO for washing/drying appliances as per the Adaptable Dwelling Schedule of Features Notes. These features are required for pre and post adaptation.</p> <p>Ensure the provision for automatic washing machine.</p> <p>Ensure there is an accessible path of travel to the provided clothes line</p> <p>Ensure the floor surface is slip-resistant.</p>
<b>DOOR LOCKS</b>	<p>Door hardware operable with one hand, located 900–1100 mm above floor</p>	<p>Design detail required at CC stage</p>	<p>D-lever type doors handles must be provided at a height between 900-1100mm from the ground surface with sufficient grasping clearance.</p>

# APPENDIX A

## Architectural Plan



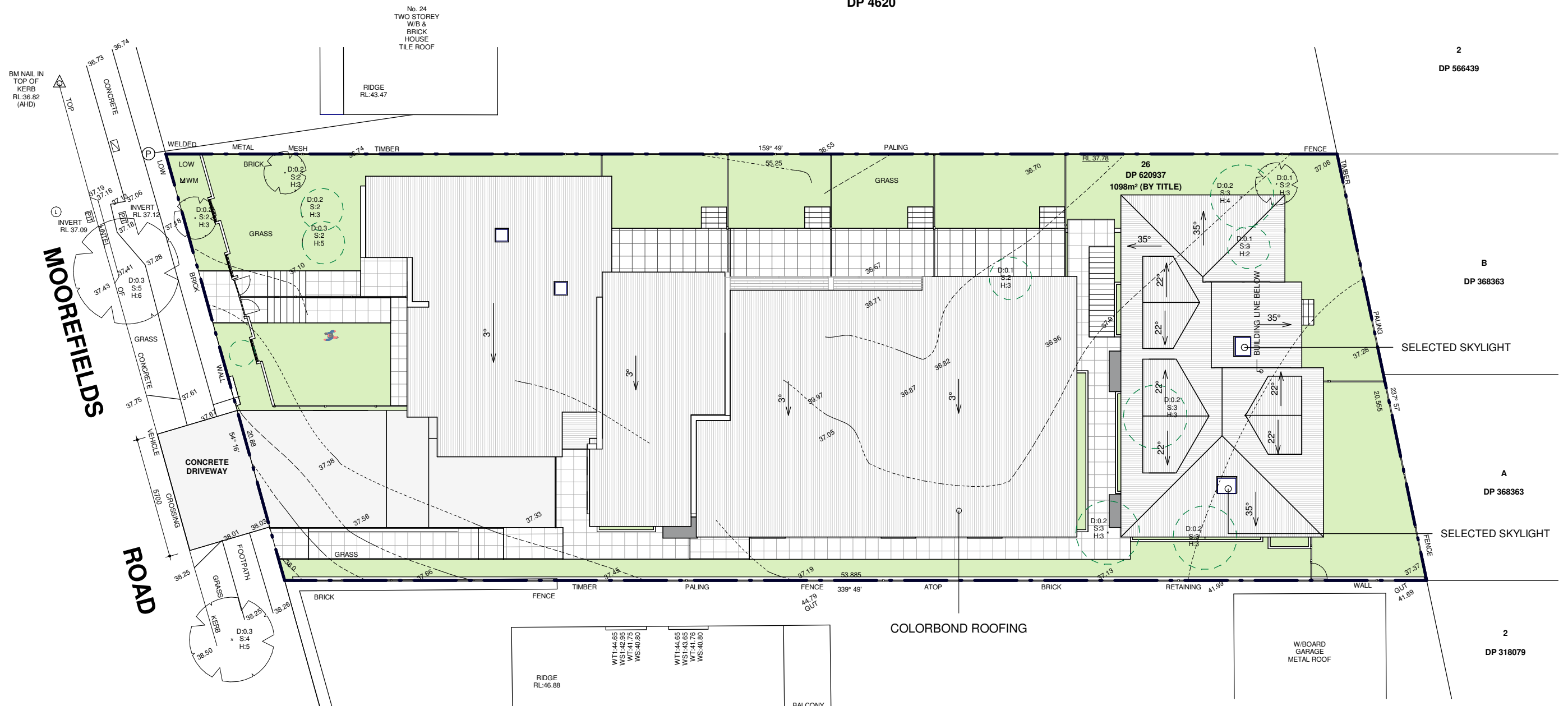
DP 4620

2  
DP 566439

B  
DP 368363

A  
DP 368363

2  
DP 318079



MOORFIELDS

ROAD

**Energy Rating** Certificate Number ZERBHV1CF

single-dwelling rating 5.5av stars

multi-unit development (attach listing of ratings) heating 31.3av MJ/m<sup>2</sup>

If selected, data specified is the average across the entire development cooling 24.7av MJ/m<sup>2</sup>

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number Sowmya Sastry VIC/BDVA/10/1014

Assessor Signature [Signature] Date 21/12/17

**LEGEND**

- WATER METER
- BENCH MARK
- COMMUNICATION PIT
- POWER POLE
- SEWER INSPECTION PIT
- ELECTRICITY POWER LINE
- WT : WINDOWS TOP
- WS : WINDOWS SILL
- GUT : TOP OF GUTTER
- S:3 (SPREAD)
- D:0.3 (DIAMETER)
- H:10 (HEIGHT)
- SHRUB

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I	AMENDMENTS	10/03/2021
H	AMENDMENTS	01/03/2021
G	AMENDMENTS	14/09/2020
F	AMENDMENTS	26/08/2020
E	DA LODGEMENT	19/12/2017
D	FACADES	17/11/2017
C	FACADES	15/11/2017
B	AMENDMENTS	1/11/2017
A	INITIAL DESIGN	12/10/2017
ISSUE	AMENDMENTS	DATE

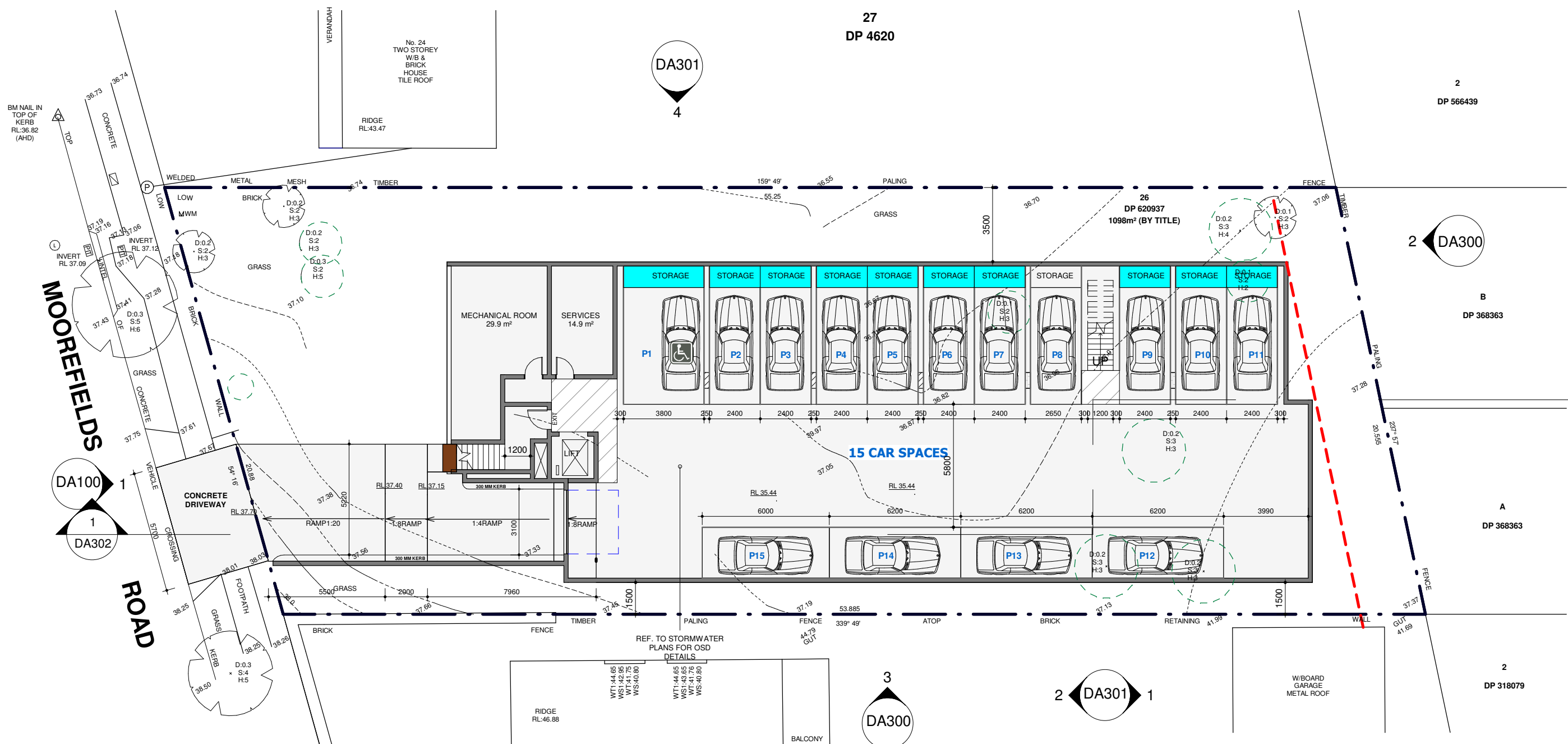
ISSUE CLIENT

DRAWING NUMBER:  
**DA200**

DRAWING TITLE:  
**SITE/ROOF PLAN**

SCALE  
As indicated

PROJECT  
**26 MOORFIELDS STREET  
KINGSGROVE**



**Energy Rating** Certificate Number ZERBHV1CF

single-dwelling rating  
 multi-unit development (attach listing of ratings)

heating 5.5av stars  
 cooling 31.3av MJ/m²  
 24.7av MJ/m²

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number Sowmya Sastry VIC/BD/AV/10/1014

Assessor Signature *[Signature]* Date 21/12/17

- LEGEND**
- WATER METER
  - BENCH MARK
  - COMMUNICATION PIT
  - POWER POLE
  - SEWER INSPECTION PIT
  - ELECTRICITY POWER LINE
  - WT : WINDOWS TOP
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  - S:3 (SPREAD)
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  - SHRUB

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**ISSUE**

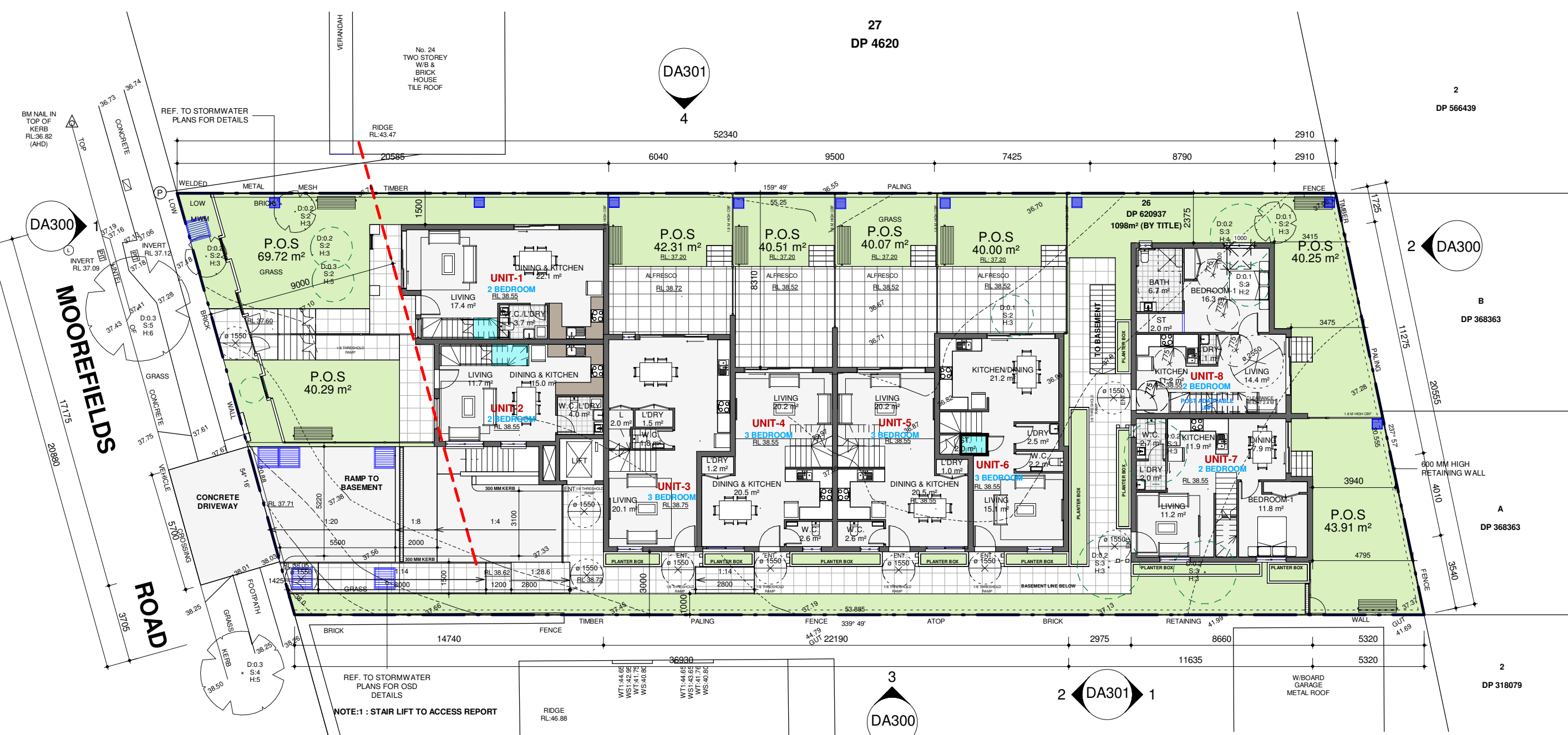
**CLIENT**

DRAWING NUMBER:  
**DA201**

DRAWING TITLE:  
**BASEMENT PLAN**

SCALE  
As indicated

PROJECT  
**26 MOORFIELDS STREET  
KINGSGROVE**



**Energy Rating** Certificate Number ZERBHV1CF

5.5av stars

single-dwelling rating heating 31.3av MJ/m<sup>2</sup> cooling 24.7av MJ/m<sup>2</sup>

multi-unit development (attach listing of ratings) *If selected, data specified is the average across the entire development*

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number Sowmya Sastry VIC/BDV10/1014

Assessor Signature *Sowmya Sastry* Date 21/12/17

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C	FAÇADES	15/11/2017
B	AMENDMENTS	1/11/2017
A	INITIAL DESIGN	12/10/2017

ISSUE

CLIENT

DRAWING NUMBER: DA202

DRAWING TITLE: SITE/GROUND FLOOR PLAN

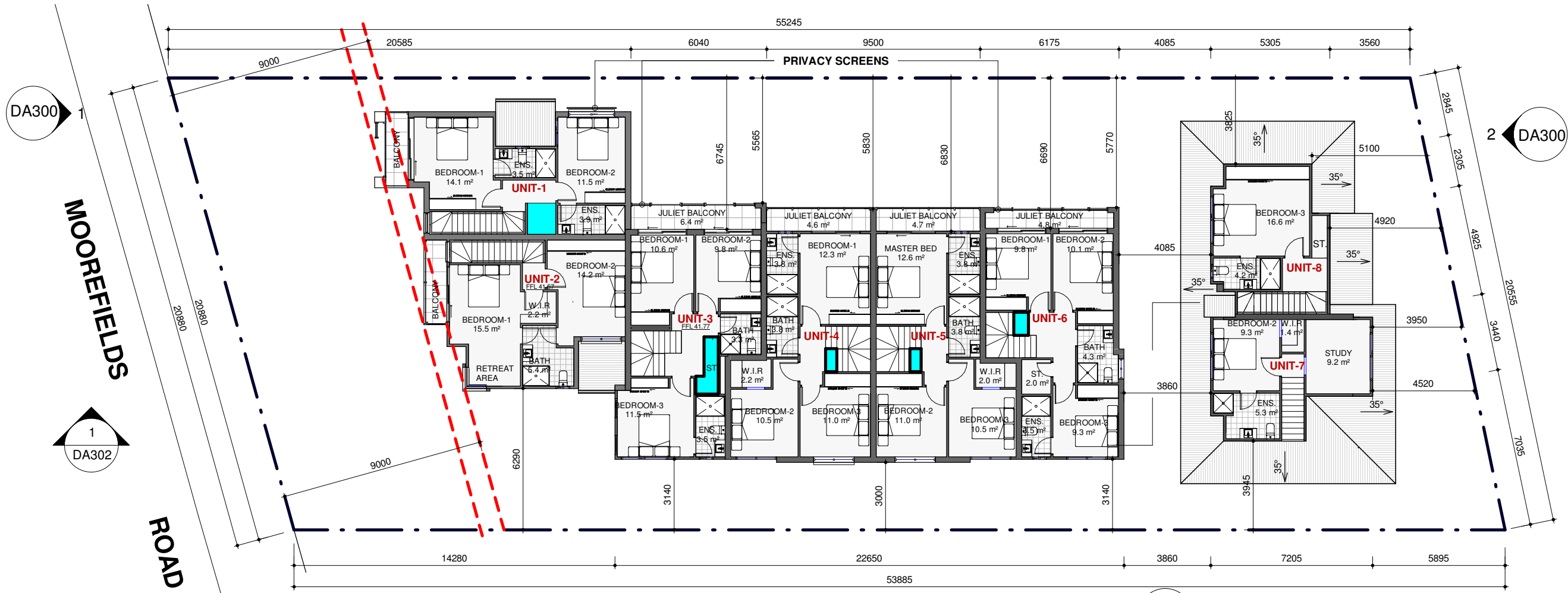
SCALE: As indicated

PROJECT

26 MOORFIELDS STREET  
KINGSGROVE

- LEGEND**
- WATER METER
  - BENCH MARK
  - COMMUNICATION PIT
  - POWER POLE
  - SEWER INSPECTION PIT
  - ELECTRICITY POWER LINE
  - WT : WINDOWS TOP
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










1 **FIRST FLOOR PLAN**  
1 : 200

2 DA301 1

**LEGEND**

-  SMOKE DETECTOR
-  DENOTES MECHANICAL VENTILATION
-  CLOTHES LINE
-  HW HOT WATER SYSTEM
-  TOW TOP OF THE WALL LEVEL
-  POS PRIVATE OPEN SPACE
-  TREES TO BE RETAINED
-  TREES TO BE REMOVED
-  CBF 1.8 M HIGH COLORBOND FENCE



**Energy Rating** Certificate Number ZERBHC1CF

single-dwelling rating 5.5av stars

multi-unit development (attach listing of ratings) heating 31.3av MJ/m<sup>2</sup>

If selected, data specified is the average across the entire development cooling 24.7av MJ/m<sup>2</sup>

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number Sowmya Sastry VIC/BDVA/10/1014

Assessor Signature *Sowmya Sastry* Date 21/12/17

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
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C	FACADES	15/11/2017
B	AMENDMENTS	1/11/2017
A	INITIAL DESIGN	12/10/2017

ISSUE CLIENT



DRAWING NUMBER:  
**DA203**

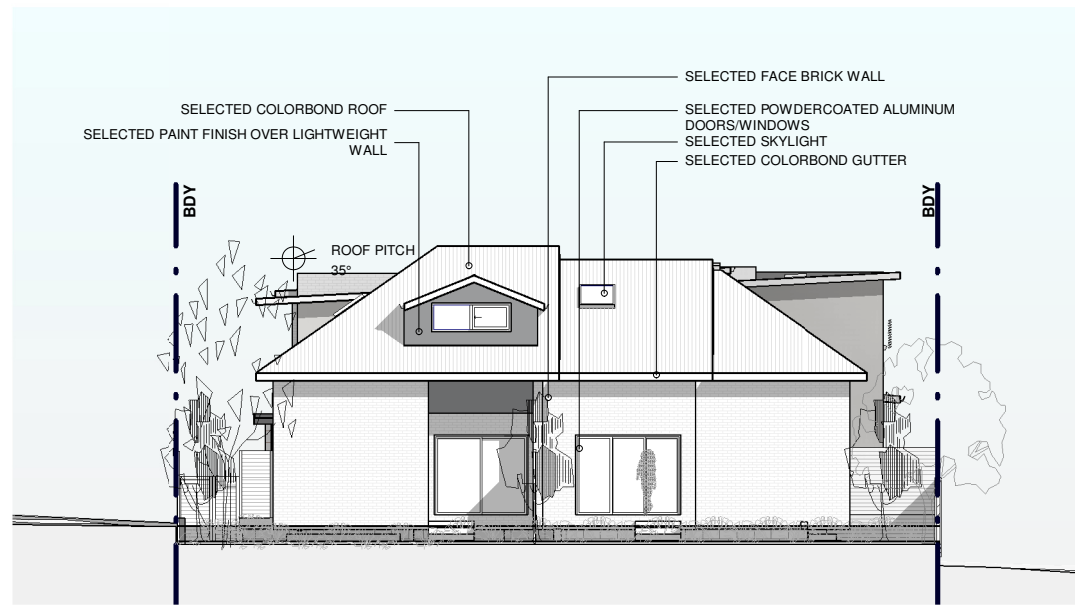
DRAWING TITLE:  
**FIRST FLOOR PLAN**

SCALE  
As indicated

PROJECT  
**26 MOORFIELDS STREET  
KINGSGROVE**



**1 FRONT ELEVATION- NORTH**  
DA300 1 : 200



**2 REAR ELEVATION-SOUTH**  
DA300 1 : 200

**Energy Rating** Certificate Number ZERBHC1CF

single-dwelling rating 5.5av stars

multi-unit development (attach listing of ratings) heating 31.3av MJ/m<sup>2</sup>

*If selected, data specified is the average across the entire development* cooling 24.7av MJ/m<sup>2</sup>

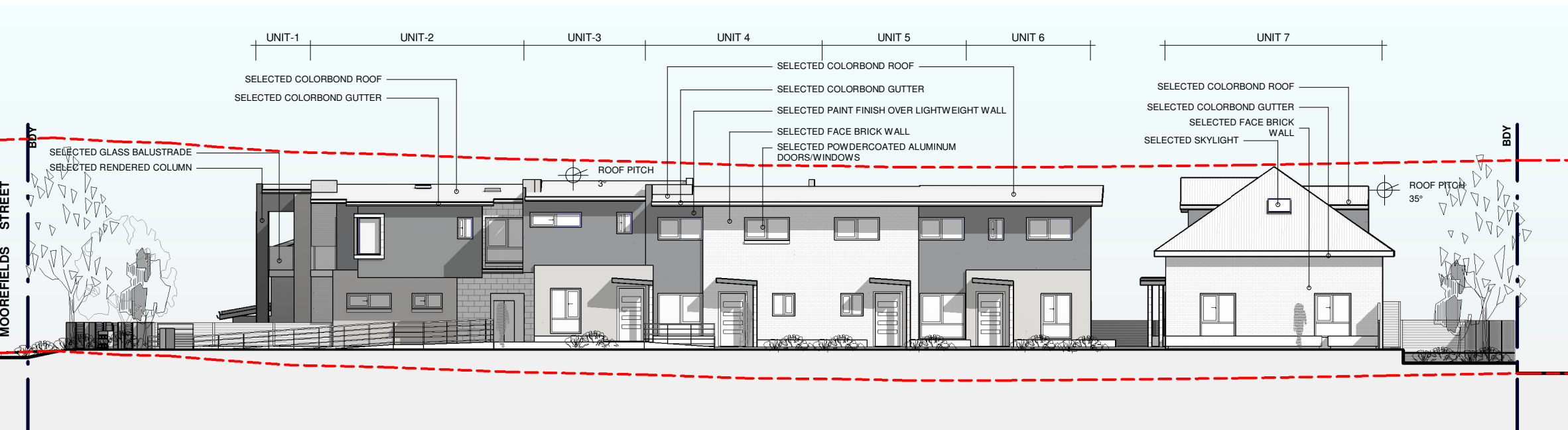
Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number Sowmya Sastry VIC/BDAV/10/1014

Assessor Signature *Sowmya Sastry* Date 21/12/17

**COLOUR AND MATERIAL SCHEDULE**

-  COLORBOND ROOF, GUTTER & DOWNPIPE WINDSPRAY OR SIMILAR
-  ALUMINUM WINDOWS AND DOORS SURFMIST OR SIMILAR
-  FASCIA SHALE GREY OR SIMILAR
-  MAIN BRICK FROST NSW OR SIMILAR
-  FACE BRICK PEWTER OR SIMILAR
-  FRONT POTICO PAINT FINISH RENDERED WALL SHALE GREY OR SIMILAR
-  PAINT FINISH RENDERED WALL BASALT OR SIMILAR
-  PAINT FINISH RENDERED WALL HEADLAND OR SIMILAR



**3 SIDE ELEVATION- EAST**  
DA300 1 : 200

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ISSUE	AMENDMENTS	DATE
I	AMENDMENTS	10/03/2021
H	AMENDMENTS	01/03/2021
G	AMENDMENTS	14/09/2020
F	AMENDMENTS	26/08/2020
E	DA LODGEMENT	19/12/2017
D	FACADES	17/11/2017
C	FACADES	15/11/2017
B	AMENDMENTS	1/11/2017
A	INITIAL DESIGN	12/10/2017

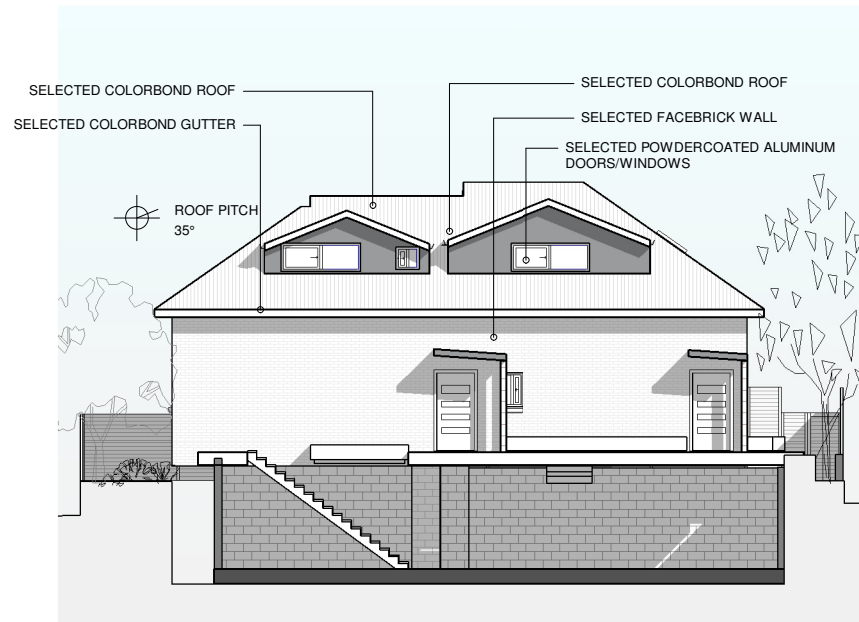
ISSUE CLIENT



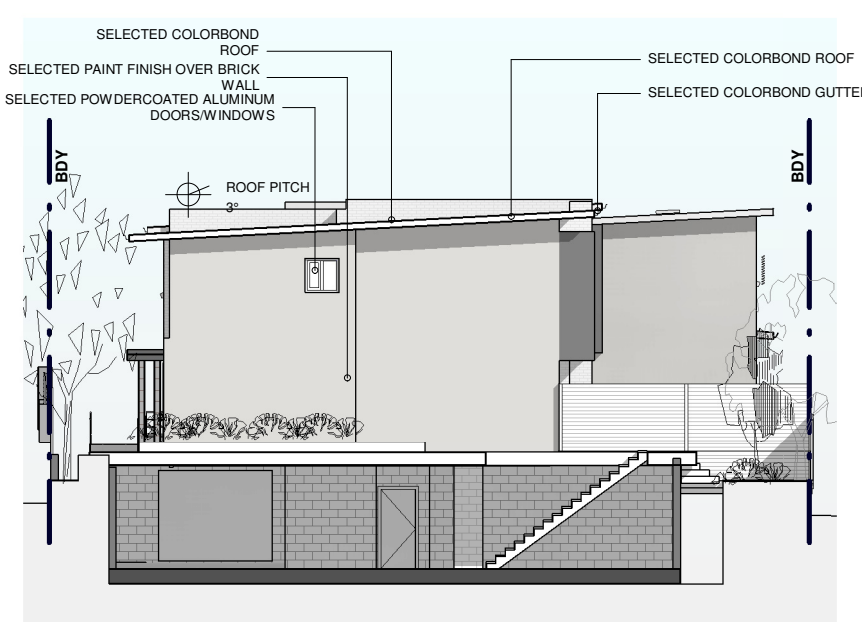
DRAWING NUMBER:  
DA300

DRAWING TITLE:  
**ELEVATIONS AND MATERIAL SCHEDULE**  
SCALE  
As indicated

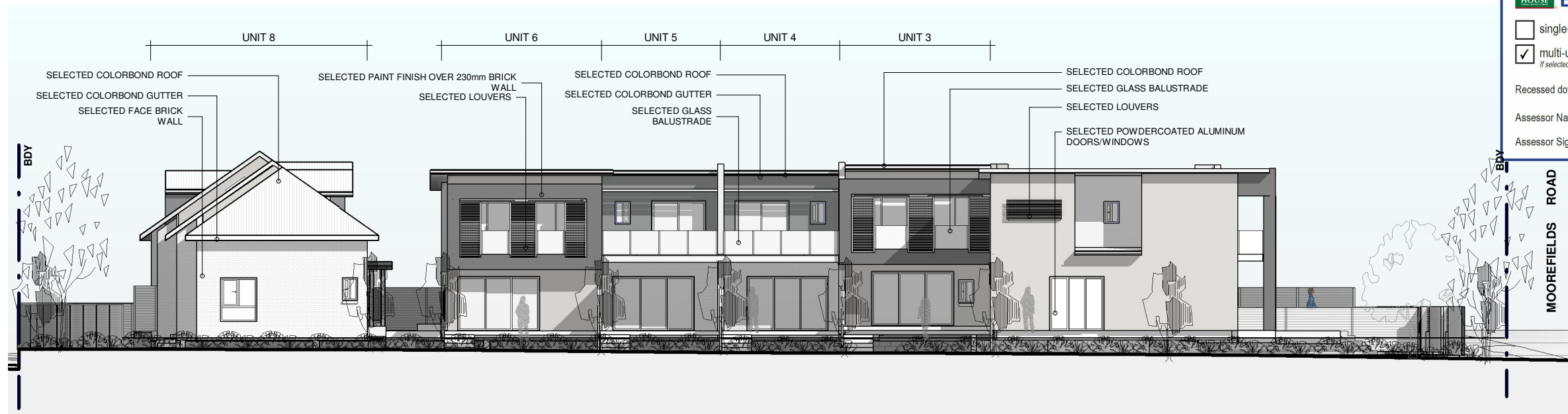
PROJECT  
26 MOORFIELDS STREET  
KINGSGROVE



**1** INTERNAL ELEVATION- NORTH  
DA301 1 : 200



**2** INTERNAL ELEVATION- SOUTH  
DA301 1 : 200



**4** SIDE ELEVATION- WEST  
DA301 1 : 200

**Energy Rating** Certificate Number ZERBHV1CF

single-dwelling rating 5.5av stars

multi-unit development (attach listing of ratings) heating 31.3av MJ/m<sup>2</sup>

*If selected, data specified is the average across the entire development* cooling 24.7av MJ/m<sup>2</sup>

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number Sowmya Sastry VIC/BDV/10/1014

Assessor Signature [Signature] Date 21/12/17

**MORFOSIS ARCHITECTS**  
PTY LTD  
Suite 8 695 The Horsley Drive, Smithfield NSW 2164  
ABN 44 609 593 473  
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623

**GENERAL NOTES**

- ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
- ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
- LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
- FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
- ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
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ISSUE AMENDMENTS DATE

ISSUE CLIENT



DRAWING NUMBER:  
DA301

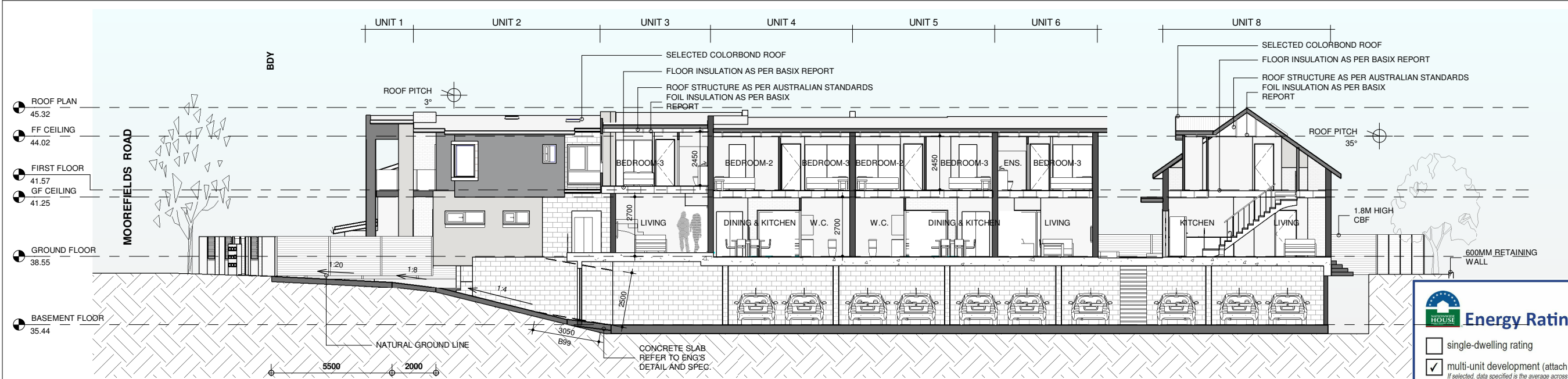
DRAWING TITLE:  
ELEVATIONS & SECTION

SCALE  
As indicated

PROJECT

26 MOORFIELDS STREET  
KINGSGROVE





**1 SECTION AA & RAMP DETAILS**  
 DA302 1 : 200

**Energy Rating** Certificate Number ZERBHC1CF

single-dwelling rating 5.5av stars

multi-unit development (attach listing of ratings) heating 31.3av MJ/m<sup>2</sup>  
If selected, data specified is the average across the entire development cooling 24.7av MJ/m<sup>2</sup>

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number Sowmya Sastry VIC/BDAV/10/1014

Assessor Signature *[Signature]* Date 21/12/17

**MORFOSIS ARCHITECTS**  
 PTY LTD  
 Suite 8 695 The Horsley Drive, Smithfield NSW 2164  
 ABN 44 609 593 473  
 P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623

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ISSUE	AMENDMENTS	DATE

ISSUE CLIENT

**1**

DRAWING NUMBER:  
**DA302**

DRAWING TITLE:  
**SECTIONS**

SCALE  
 As indicated

PROJECT  
**26 MOORFIELDS STREET  
 KINGSGROVE**